

Construction Notes:

① 18"x18" dumpster pad w/ 10' apron, 8" thick reinforced concrete w/ #5 rebar @ 12" O.C.E.W. and w/ 6' tall wooden fence screen.

1. All radii and distances are measured to the back of curb, unless otherwise noted, as shown on the Pavement Plan.
2. All site work is to be done in conformance with the Bryan/College Station 2012 Standard Specifications for Water & Sewer and the City of Bryan Standard Specifications for Streets & Drainage.
3. All fill subgrade and base material shall be compacted to 98% STD in areas to be paved and 95% STD in all other areas.
4. All concrete to be constructed 3500 psi (Min.) - 28-day strength portland cement concrete.
5. All items to be removed during clearing and grubbing. Remove not only the above ground elements, but all underground elements as well. All excavated material shall become the property of the contractor, unless otherwise directed by the Owner. All debris must be disposed of off-site.
6. Prior to grading operations, the contractor is to




- strip the entire 6' of soil. Contractor shall proof roll the entire site and remove any unstable materials according to TxDOT specifications. Select fill is to be used in replacing objectionable material.
7. Each utility contractor is responsible for positioning and trenching of service lines. Mark all lines with utility tape. Utility contractors are responsible for coordinating with paving contractor in placement and installation of any necessary utility conduit prior to subgrade preparation. Lines requiring slope control are to be installed first. All other lines not requiring slope control or elevation shall be installed deepest first. Each contractor is responsible for knowing final determination of installation order.
8. Electrical conduit for parking lot lighting will be shown on the electrical site plan.
9. The parking lot is 6' depth concrete pavement to meet or exceed minimum City of Bryan requirements.
10. The bearing system shown hereon is based on grid north as established from GPS observation.
11. Materials and methods for pavement markings shall conform to TxDOT Standard Specifications for Construction of Highways, Streets, and Bridges (current edition) with the following exceptions: 1) Type II marking materials need not be purchased from the Department and 2) these same can be omitted, but marking material shall by Type II paint-type material.
12. Irrigation System - Potable water supply must be protected from either an atmospheric or pressure vacuum breaker or testable double

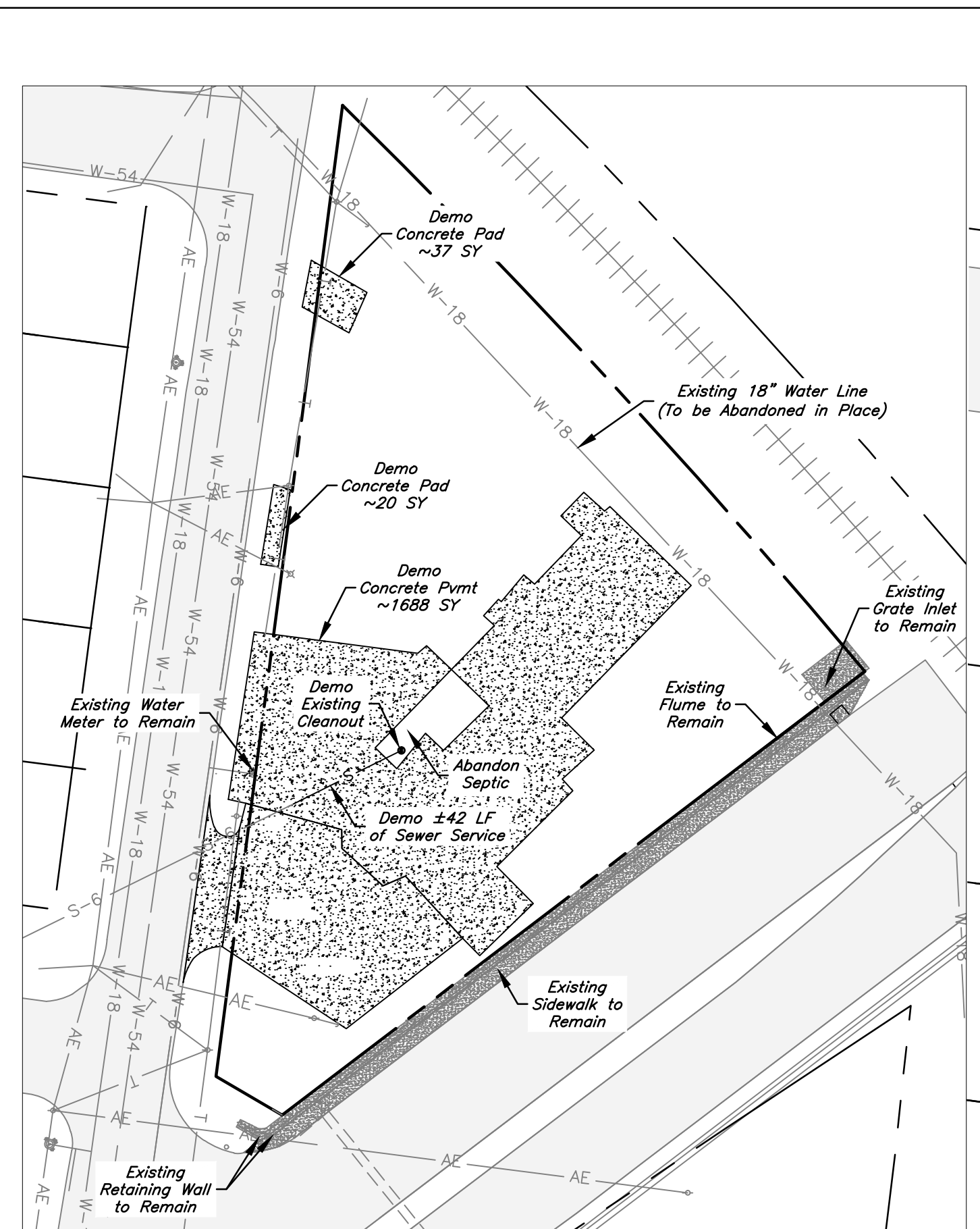
check valve assembly, and installed as per City Ordinance. The irrigation system must be approved prior to issuance of C.O.

13. Potable Water Protection – All devices, appurtenances, appliances, and apparatus intended to serve some special function and that connect to the water supply system shall be provided against backflow and contamination of the water supply system.

Landscape Analysis:			
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Construction Activities:			
Parking & Pavement	=	18,376	SF
Building	=	2,800	SF
Net Total	=	21,176	SF

Requirements:			
Building, Parking, & Pavement			
21,178 SF @ 15%	=	3,177	SF
Net Total	=	3,177	SF
Provided:			
Canopy Trees			
8 @ 200 SF	=	1,600	SF
Non-Canopy Trees			
10 @ 150 SF	=	1,500	SF
Shrubs			
10 @ 10 SF	=	100	SF
Net Total	=	3,200	SF

Symbol	Qty.	Common Name	Botanical Name	Size
	8	Live Oak	Quercus virginiana	2" cal.
	10	Crepe Myrtle	Lagerstroemia indica	1½" cal.
	10	Waxleaf Ligustrum Shrub	Ligustrum japonicum	2 Gallon



Demolition Plan

N.T.S.

1. Fully remove native soil to the size of container.

2. Fully remove all construction debris, trash, rocks and any other material greater than 2" in diameter.

3. Install premixed soil containing 40% sandyloam topsoil, 40% black humus and 20% sharp sand.

4. Dig planting hole width 12" larger than rootball on all sides.

5. Scarify root ball.

6. Root flare shall be exposed.

Notes:

1. Trees to be balled and burrlipped or container grown.
2. If container grown, remove container from base before container is

3. Top of root ball to be 3" higher than final grade.
4. Top of root ball to be exposed.

Tree Staking & Planting
N.T.S

Diagram illustrating the installation of groundcover plants in a containerized system. The diagram shows a cross-section of the container and the layers of material being installed.

Labels and dimensions:

- 3" Depth (referring to the groundcover plant material layer)
- 3" mulch layer. No geo-textile weed barrier fabric planting beds.
- Prepared bedding soil backfill (TYPE 1)
- 8" Depth (referring to the total depth of the container)

Steps for installation:

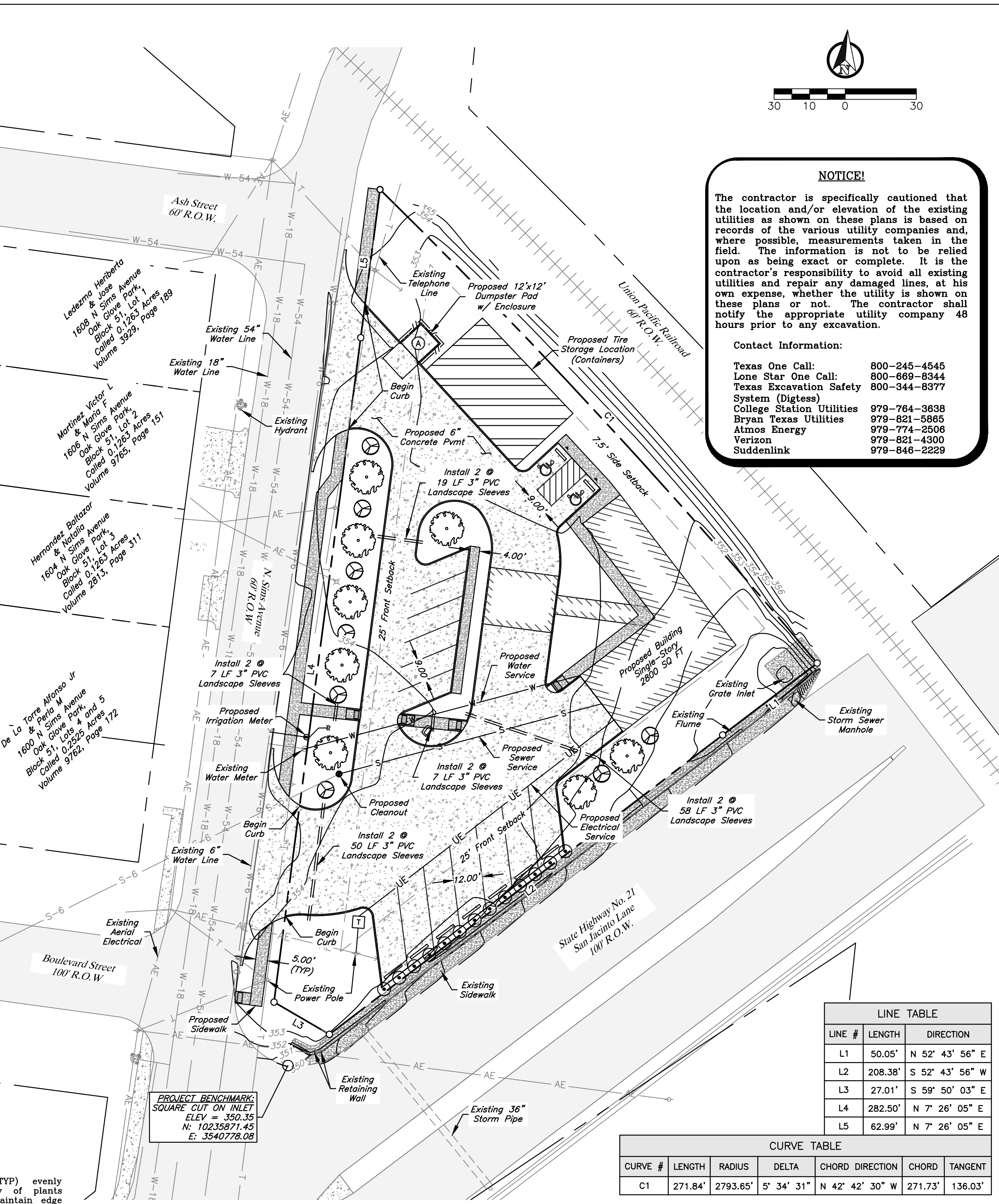
1. Fully remove native soil to container.
2. Fully remove all construction rocks and any other material greater than 2" in diameter.
3. Install premixed soil composed of native soil, 25% humus and 25% sand.
4. Dig planting hole width 1.5x root ball on all sides.
5. Scarify root ball.

Notes:

1. Container grown plants only.
2. Remove containers from plants before installing.
3. Place plants in prepared bed as shown.
4. Edge spacing for plants varies with species and location.

Additional instructions:

- Make sure that plant root ball is to the depth of the container planting mix.
- Do not plant groundcover in mulch.
- Native soil



Notes:

1. All lumber shall be weather resistant, cedar or pressure treated.
2. Pickets to be 1x6, dog-eared, fastened w/ 1 ½" galv. screws, min 2 per connection.
3. Rails are to be 2x4 fastened w/ 3" galv. screws, min. 3 per connection.
4. Post are to be 4x4, placed 6' O.C., & set in 3,000 PSI concrete.

Diagram illustrating the cross-section of a Dumpster Screen Fence. The fence is 6' high and consists of pickets (1x6, dog-eared) fastened to rails (2x4) with galvanized screws. The rails are fastened to posts (4x4) with galvanized screws. The posts are set in 3,000 PSI concrete. The fence is placed 1' from the edge, with a 4' clearance from the dumpster. The post spacing is 6' O.C.

Dumpster Screen Fence

N.T.S

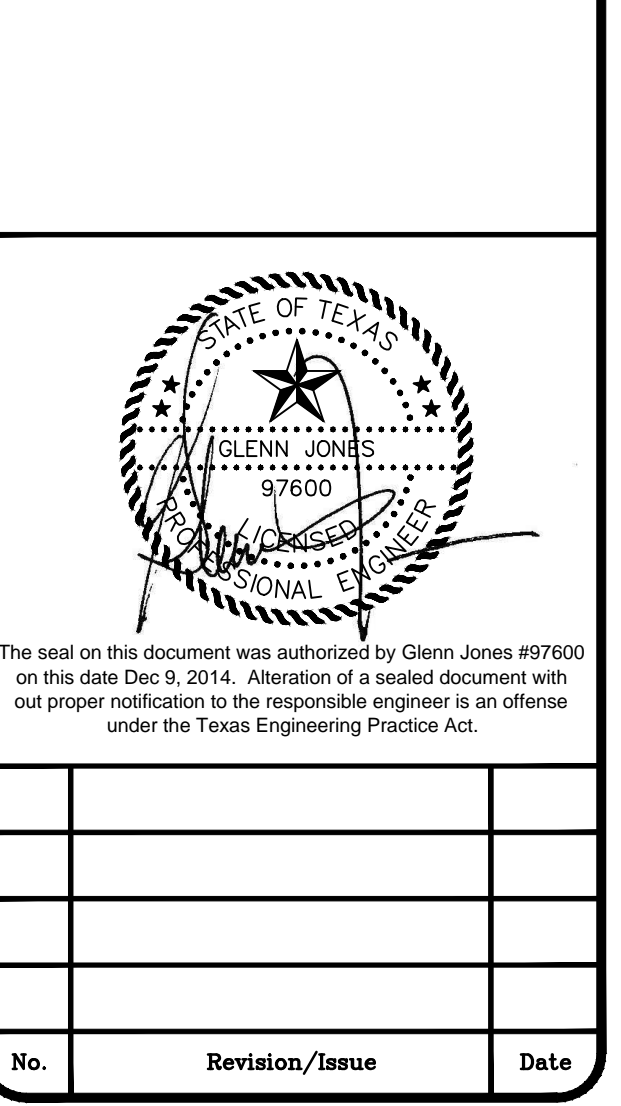
Diagram illustrating the cross-section of a Typical PVC Sleeve. The sleeve is made of 3" SCH 40 PVC Pipe, 12" Below Top of Grade TYP. The sleeve is secured with a Mark Location w/ Galvanized Carriage Bolt ¾" X 2". The sleeve is installed in a concrete base, and the sidewalk/pavmt is installed where applicable. The sleeve is extended 12" beyond the end and taped both ends.

Typical PVC Sleeve


N.T.S

Site Plan

1. The topography shown is from field survey data.
2. Refer to Final Plat for all lot dimensions and bearings.
3. All utilities shown are taken from the best available information based on construction utility documents obtained by J4 Engineering from City and Independent agencies and/or above ground field evidence. Shown positions may not represent as-built conditions.
4. The contractor shall be responsible for verifying the exact location of all existing underground utilities, whether shown on these plans or not. Notification of the utility companies 48 hours in advance of construction is required.
5. Contractor is responsible for field verifying existing and proposed grades prior to any construction and reporting any inconsistencies to the Owner.
6. All construction shall be in accordance with the current BCS Standard Specifications, Details, and Design Guidelines for Water, Sewer, Streets, and Drainage, unless otherwise noted.
7. The contractor shall be responsible for the containment and proper disposal of all liquid and solid waste associated with the project and shall use all means necessary to prevent the occurrence of wind blown litter.
8. It is the intent of these plans to comply with all City of Bryan guidelines, specifications & details.
9. See Sheet C1 – General Notes



Firm Name and Address:

 **J4 Engineering**

*PO Box 5192 - Bryan, Texas - 77805
979-739-0567 www.J4Engineering.com
Firm # 9951*

Project Name and Address:

Rodriguez Tire Center

1601 N Sims Avenue
Oak Grove Park Addition No. 2
Lot 18R ~ 0.915 AC
Bryan, Brazos County, Texas

Date:	Dec 2014	Sheet:	C2
Scale:	As Noted		