

**Site Specific Notes:**

- The owner & developer of the property is SF Business Investments, LLC. The subject property is lot 2, block 1 of the Lakeridge Subdivision. The property is zoned C-1, Commercial.
- Proposed building is a single-story type IIB without sprinklers. The building is a total of 7,200 sf with height of 24'-0" and FF=326.00.
- Fire flow hydrant demand is 1,750 gpm. The hydrant at the north-west corner of the property will provide the hydrant flow for this project.
- This lot is not within the 100-yr floodplain according to the Dfirm for Brazos County, Texas and Incorporated Areas, Map No. 48041C0305E, effective May 16, 2012.
- The stormwater runoff from this development will be controlled by an onsite collection and detention system and discharged into the ROW of FM 2818.
- Drainage information and details will be provided on the grading and drainage plans.
- The developed area for this project is 1.25 acres (54,450 sf).
- The irrigation system must be approved and installed prior to C.O.
- Traffic impact analysis is not required.
- Solid waste pickup will be providing by the collection truck entering the parking lot and collecting waste from an 8 CY container within the enclosed dumpster area.

**Utility Demand:**

Water Demand: Store (fixture-count method)	
Minimum	0 gpm
Average	9.5 gpm
Maximum (peak)	38 gpm
1" domestic water meter	
Water Demand: Per Lease Space (fixture-count method)	
Minimum	0 gpm
Average	5.83 gpm
Maximum (peak)	23.3 gpm
1" domestic water meter per lease space	
Sanitary Sewer Demand (@ 90% of Total Water Demand)	
Average	19.03 gpm
Maximum (peak)	76.14 gpm
6" sanitary sewer line	

**Construction Notes:**

- Contractor is to verify the exact location and vertical positioning of existing utilities and service lines within the project area, whether shown on plans or not, at least 48 hrs. prior to any construction. Contractor is responsible for any damage done to existing facilities. Call 1-800-dig-tess.
- All radii and distances are measured to the back of curb unless otherwise noted.
- All site work is to be done in conformance with the Bryan / College Station 2012 Standard Specifications for Water & Sewer and the City of College Station Standard Specifications for Streets & Drainage.
- All utility lines (water, gas, sanitary sewer, g.t.e., storm sewer, etc.) shown are taken from best available record information based on construction utility map documents obtained by from city & independent agencies and/or above ground field evidence. Shown positions may not represent as-built conditions.
- Electrical conduit for parking lot lighting will be shown on the electrical site plan.
- Exterior building and site lighting will meet the standards of Section 7.10 of the Unified Development Ordinance. The light source shall not project below an opaque housing and no fixture shall directly project light horizontally. Fixtures will be mounted in such a manner that the projected cone of light does not cross any property line.
- The parking lot is 6" depth concrete pavement to meet or exceed minimum City of College Station Requirements.
- Landscaping Design & Analysis will be provided on the Landscape Plans.
- The back of curb radius is shown on the Pavement Plan.
- The bearing system shown hereon is based on grid north as established from GPS observation.
- Building Setback lines shall be in accordance with the City of College Station UDO.
- Solid waste storage areas, mechanical equipment, air conditioning, electrical meter and service components, and similar utility devices, whether ground level, wall mounted, or roof mounted, shall be screened from view from right-of-way. Exterior screening materials shall be opaque and the same as predominantly used on the exterior of the principle building. Such screening shall be coordinated with the building architecture, colors, and scale to maintain a unified appearance. Acceptable methods of screening various equipment include encasements, parapet walls, partition screens, and brick walls.
- Proposed signs shall be permitted separately in accordance with the City of College Station UDO.
- Type 3A10BC fire extinguishers shall be placed at the pumps.

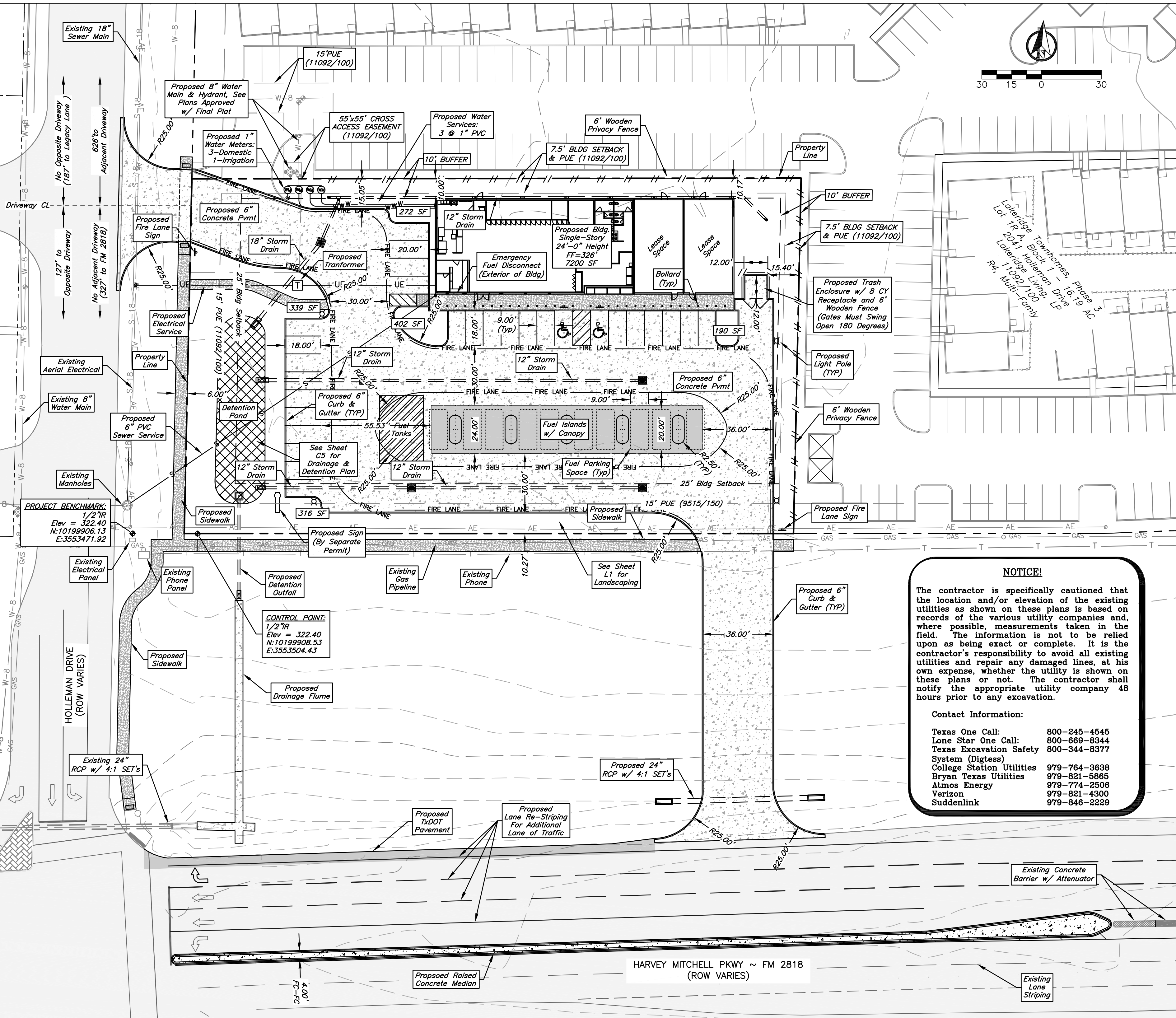
**Parking Analysis:**

Proposed Improvements:	
4,800	SF Convenience Store
1,200	SF Lease Space
1,200	SF Lease Space
7,200	SF Total Retail Area
New Required Parking:	
24...	1 Space per 300 SF GC-General Commercial
New Provided Parking:	
26...	Straight in Parking
2...	ADA Parking w/Van Accessible
10...	Fuel Island Parking
38...	Total Provided

**Fire Lane Striping:**

All curbs and curb ends designated as firelanes on plans shall be painted red with 4" white lettering stating "FIRE LANE-NO PARKING-TOW AWAY ZONE". Wording may not be spaced more than 15' apart.

■ FIRE LANE ■ NO PARKING ■ TOW AWAY ZONE ■



**NOTICE:**

The contractor is specifically cautioned that the location and/or elevation of the existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. It is the contractor's responsibility to avoid all existing utilities and repair any damaged lines, at his own expense, whether the utility is shown on these plans or not. The contractor shall notify the appropriate utility company 48 hours prior to any excavation.

**Contact Information:**

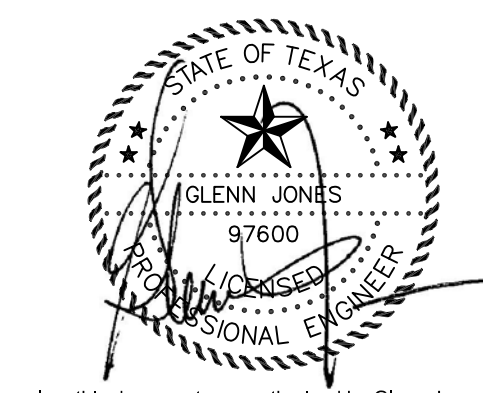
Texas One Call:	800-245-4545
Lone Star One Call:	800-689-8344
Texas Excavation Safety:	800-344-8377
System (Digless):	
College Station Utilities:	979-784-3838
Bryan Texas Utilities:	979-821-5865
Atmos Energy:	979-774-2506
Verizon:	979-821-4300
Suddenlink:	979-846-2229

**Site Plan**

**General Notes:**

- The topography shown is from field survey data.
- Refer to Final Plat for all lot dimensions and bearings.
- All utilities shown are taken from the best available information based on construction utility documents obtained by J4 Engineering from City and Independent agencies and/or above ground field evidence. Shown positions may not represent as-built conditions.
- The contractor shall be responsible for verifying the exact location of all existing underground utilities, whether shown on these plans or not. Notification of the utility companies 48 hours in advance of construction is required.
- Contractor is responsible for field verifying existing and proposed grades prior to any construction and reporting any inconsistencies to the Owner.
- All construction shall be in accordance with the current BCS Standard Specifications, Details, and Design Guidelines for Water, Sewer, Streets, and Drainage, unless otherwise noted.
- The contractor shall be responsible for the containment and proper disposal of all liquid and solid waste associated with the project and shall use all means necessary to prevent the occurrence of wind blown litter.
- It is the intent of these plans to comply with all City of College Station guidelines, details, and specifications.
- See Sheet C1 - General Notes

**Project Owner/ Applicant:**  
SF Business Investments  
2806 South College Ave.  
Bryan, TX 77802



The seal on this document was authorized by Glenn Jones #97600 on this date, Aug. 16, 2013. Alteration of a sealed document without proper notification to the responsible engineer is an offense under the Texas Engineering Practice Act.

No.	Revision/Issue	Date

**Firm Name and Address:**  
**J4 Engineering**  
PO Box 5192 - Bryan, Texas - 77805  
979-739-0567 www.J4Engineering.com  
Firm# 9951

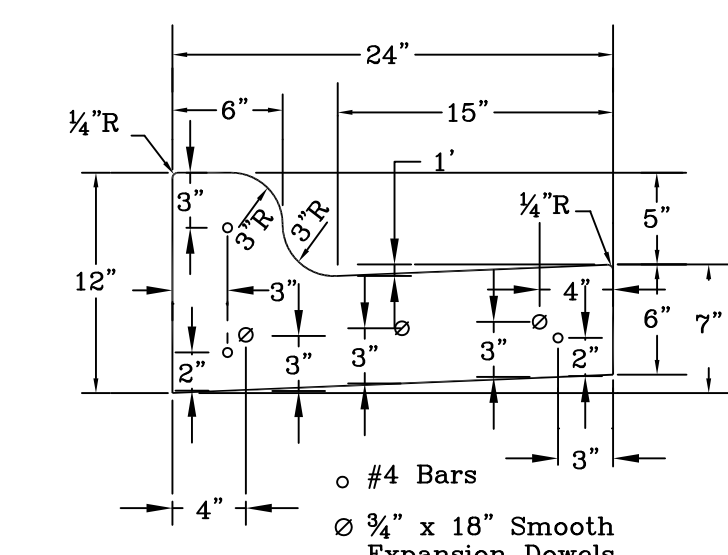
**Project Name and Address:**  
**Holleman Exxon**  
2041 Holleman Drive  
Lot 2, Block 1 Lakeridge  
Subdivision - 1.25 AC  
College Station, Brazos County, Texas

**Date:** Aug 2013  
**Scale:** As Noted  
**Sheet:** C2

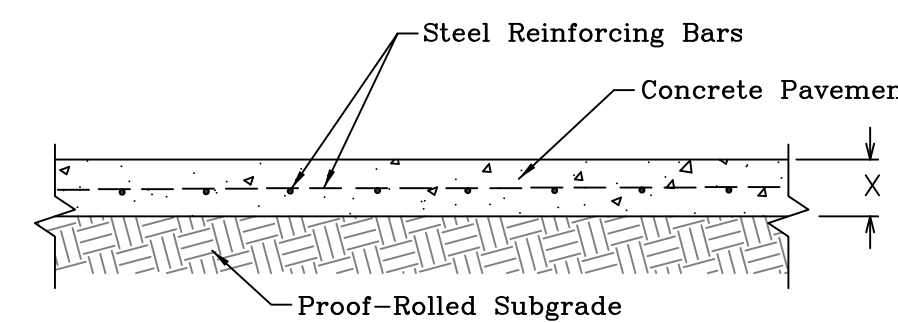


- Notes:**
- The sign shall be 12" wide by 18" in height and be mounted in the location shown.
  - Sign shall be painted on white background with symbols, letters, and border in red.
  - Sign shall comply with the cob fire service standards.

**Fire Lane Sign Detail**  
N.T.S.

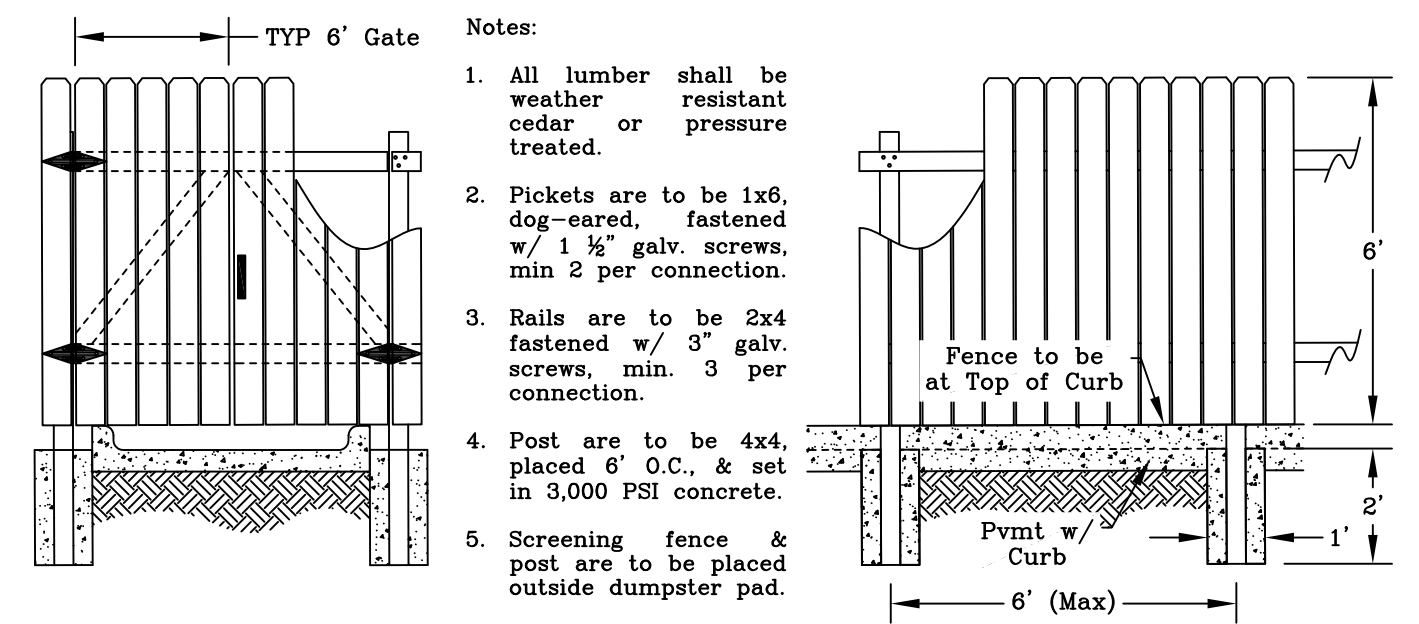


**Driveway Raised Curb Detail**  
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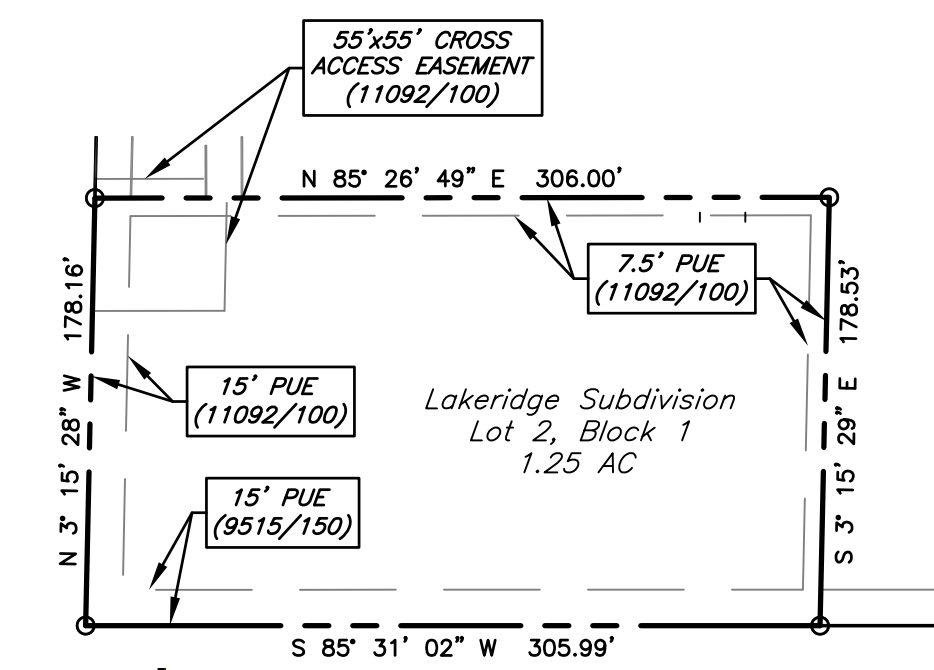


- X=6" as Shown on the Plan
- 6" Pavement - use #4 rebar @ 12" O.C.E.W.

**Typical Concrete Paving Section**  
N.T.S.



**Typical Dumpster Enclosure w/ Double-Hung Gate**  
N.T.S.



**Property Description Detail**  
N.T.S.