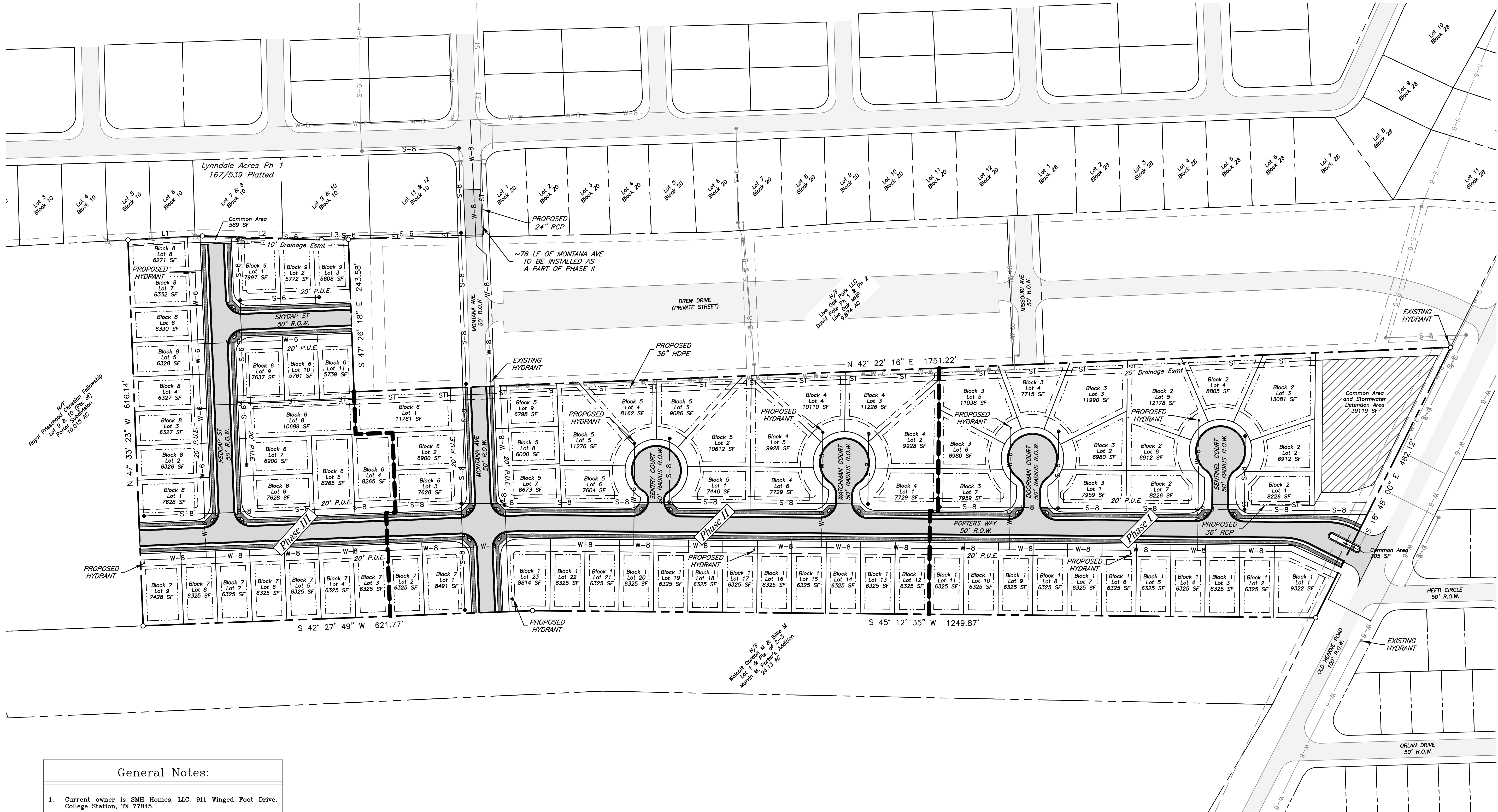
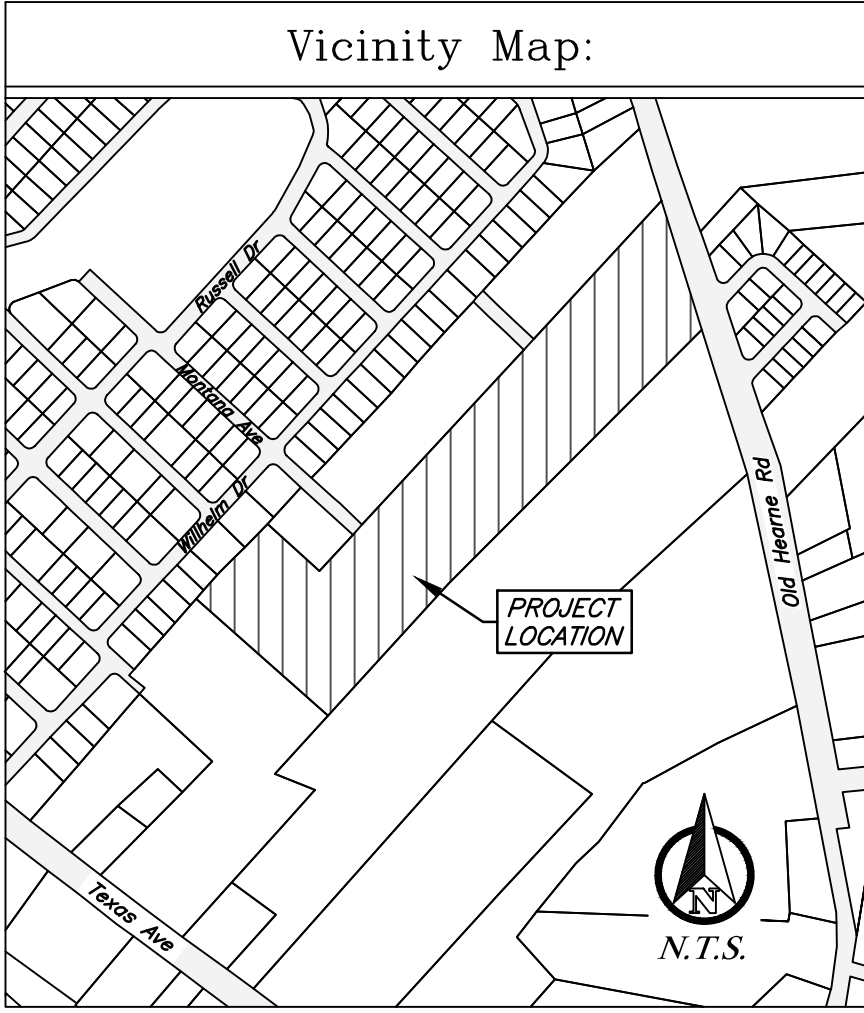


LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	118.99'	N 41° 36' 45" E
L2	190.38'	N 46° 29' 40" E
L3	42.54'	N 43° 41' 47" E

Legend	
Line Types	
	Proposed Conditions
	Existing Conditions
	Water Line (size noted)
	Sanitary Sewer (size noted)
	Aerial Electrical
	Storm Piping
	Property Line
	Power Pole
	Sewer Manhole
	Hydrant



General Notes:

1. Current owner is SMH Homes, LLC, 911 Winged Foot Drive, College Station, TX 77845.
2. Current use - Vacant.
3. Proposed use and improvements: Residential Subdivision.
4. Current & Proposed Zoning: RD-5 Residential
5. This lot is not within the 100-YR floodplain according to the DFIRM for Brazos County, Texas and incorporated areas, Map No. 48041C0185E effective May 9, 2014 and 48041C0205P, effective April 2, 2014.
6. The topography shown is from field survey data.
7. All setbacks shall be in accordance with City of Bryan subdivision ordinance.
8. Maximum proposed hydrant spacing is 650 feet by lay-of-hose. All properties are within 500 feet by lay-of-hose of a proposed or existing hydrant.
9. Porter's Meadow Home Owner's Association "HOA" shall be responsible for the maintenance of all common areas.

MASTER PLAN

Porter's Meadow

19.517 Acres
 Portion of Reserve Tract
 Marvin M. Porter's Subdivision
 Stephen F. Austin No. 10 League, A-63
 Bryan, Brazos County, Texas
 February 2015

Owner:
 SMH Homes, LLC
 911 Winged Foot Dr.
 College Station, TX 77845

Engineer:

 PO Box 5192
 Bryan, TX 77805
 979-739-0567
 TBPE F-9951

Surveyor:
 Kerr Surveying, LLC
 409 N. Texas Ave.
 Bryan, TX 77803
 979-268-3195

